



Parks and Recreation Committee Agenda

Tuesday, October 8, 2024 12:00 PM
Harrigan Centennial Hall, 330 Harbor Drive

Members: Chair – James Poulson, Ben Hughey, Brandon Marx
Rich Krupa, Katherine Prussian, Steve Black, Candace Rutledge
Assembly Liaison: Kevin Mosher

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. AGENDA CHANGES**
- IV. APPROVAL OF MINUTES**
 - A. September 10, 2024
- V. REPORTS**

Chair:
Members:
City Staff:
Assembly Liaison:
Other(s): Sitka Trail Works
- VI. PERSONS TO BE HEARD** (For items OFF the agenda - not to exceed 3 minutes)
- VII. UNFINISHED BUSINESS**
- VIII. NEW BUSINESS**
 - B. Crescent Harbor Restroom Replacement Update
 - C. Letter of Support for renovations at Mosquito Cove
 - D. Discussions on Tom Young Cabin
- IX. PERSONS TO BE HEARD** (For items ON or OFF the agenda – not to exceed 3 minutes)
- X. ADJOURNMENT**



Parks and Recreation Committee Minutes

Tuesday, September 10, 2024, 12:00 p.m.

Harrigan Centennial Hall

Members: Chair – James Poulson, Ben Hughey, Brandon Marx
Rich Krupa, Steve Black, Katherine Prussian, Candace Rutledge
Assembly Liaison: Kevin Mosher

I. CALL TO ORDER

Chair James Poulson called the meeting to order at approximately 12:00 p.m.

II. ROLL CALL

Present: James Poulson, Ben Hughey (via zoom at 12:05 p.m.), Rich Krupa, Brandon Marx, Candace Rutledge, Steve Black, and Katherine Prussian

Absent: None.

Assembly Liaison: Kevin Mosher

Staff Present: Jess Earnshaw, Deputy Clerk, and Kevin Knox, Parks and Recreation Coordinator

Others: None.

III. AGENDA CHANGES

None.

IV. APPROVAL OF MINUTES

A. August 13, 2024

Marx moved to approve the August 13, 2024 minutes as written. Motion passed 6-0 by voice vote.

V. REPORTS

Chair: None.

Members: None.

City Staff: Kevin Knox, Parks, and Recreation Coordinator provided an update on the successful grant award for the Crescent Harbor Court Rehab project and announced Rachel Fox would be the new aquatic supervisor for the Blatchley Pool. He also emphasized the launch of new after-school programs and the recruitment of six candidates to staff the pool.

Assembly Liaison: None.

Other(s): Ben Hughey of Sitka Trail Works shared plans to shut down Mosquito Cove trail next week.

VI. PERSONS TO BE HEARD (For items OFF the agenda - Not to Exceed 3 Minutes)
Ted Laufenberg expressed the need for improved signage at commercial facilities to inform operators about permit requirements. He also mentioned the redesignation of the Warm Springs boardwalk and the importance of maintaining a dialogue with the Baranoff Warm Property Owners Association.

VII. UNFINISHED BUSINESS
None.

VIII. NEW BUSINESS

B. Work Session Overview on Commercial Land Use Permit and Code Changes

Planning and Community Development Director Amy Ainslie spoke about the work session meeting on commercial land use permit changes, emphasizing that the focus would be on refining the code and procedures rather than the land use policy or plan.

C. Presentation on E-bikes by the Assembly Members JJ Carlson and Timothy Pike

Assembly Member Carlson discussed the challenges of bike riding on downtown sidewalks, citing the lack of street indicators as a major issue. She noted most bike rentals in Sitka are Class 2 e-bikes, with no plans to offer Class 3 bikes. Carlson emphasized the importance of creating a protective path for bikers and e-bike riders to ensure their safety.

Carlson also addressed ongoing concerns with e-bikes and electric scooters, suggesting that stricter rental guidelines and physical fitness checks could improve safety. She raised questions about the classification of e-scooters alongside e-bikes and called for a more thorough commercial tourism permitting process. Additionally, she pointed out the difficulties in tracking e-bike accidents, emphasizing the need for better data collection. The discussion also touched on managing conflicts between pedestrians, e-bikes, and scooters, particularly around shared paths near the creek. Carlson advocated for more educational awareness, clearer definitions for e-bikes and scooters, and considered state legislation to address these challenges. Another issue raised was the problem of e-scooters being left scattered around town, with difficulties in locating the companies responsible.

XI. PERSONS TO BE HEARD (For items on or off the agenda - (Not to Exceed 3 Minutes)
None.

VIII. ADJOURNMENT

The next meeting would be on October 8, 2024, at noon in Harrigan Centennial Hall. Hearing no objection, Chair Poulson called the meeting adjourned at 12:55 p.m.

Attest:
Jess Earnshaw,
Municipal Deputy Clerk



CITY AND BOROUGH OF SITKA

A COAST GUARD CITY

PUBLIC WORKS DEPARTMENT

100 Lincoln Street | Sitka, AK 99835

www.cityofsitka.com

publicworks@cityofsitka.org | 907-747-1804

Oct 8, 2024

Re: Crescent Harbor Restroom Project Update

Dear Parks and Rec Committee Members,

I'd like to provide you with an update on the Crescent Harbor Restroom project. I last gave an update before the committee in March. Since then, the project has been bid, contractor proposals for this project have been received, and we are in the process of awarding the contract. CBS bid the project so that proposers were given the freedom to propose different methods of construction. CBS received two proposals, one for a traditional site-built stick build and one for an off-site prefabricated structure. The prefabricated option from McG Constructors came in within budget at a fixed price of \$329,000, roughly half the price of the site-built proposal.

The structure will be fabricated off site and shipped to Sitka via barge. McG will demolish the existing structure, perform site prep, and install the prefab modules on site via crane. This construction method will help minimize construction time on site and help avoid conflicts with pedestrians on the sea walk. The project is scheduled to be completed on or before April 1st, 2025, to avoid the bulk of cruise visitor traffic.

We believe this approach provides a good balance of quality and cost. The prefab will have the same materials and workmanship as a typical stick build. We have specified fiber cement siding and trim, architectural shingles, heavy duty doors and hardware, high-capacity plumbing fixtures, and rubberized resilient flooring.

The prefab structure will be fabricated by the same manufacturer that McG Constructors worked with to deliver a similar facility at the Sitka Sound Cruise Terminal. I have included photos of this facility in this packet for reference, as the restroom for Crescent Harbor will be very similar. The Harbor restroom will have similar construction, but also incorporate a canopy and decorative wood truss to provide some visual appeal. We are intending to choose paint and material colors that complement the nearby existing picnic shelters and Harrigan Hall.

I have also attached the preliminary drawings for this building from the manufacturer. Please note that these are preliminary drawings adapted from a prototype, so some adjustment is still needed.

Thank you for your review – any feedback is welcome.

Sincerely,

Jason Hudson
CBS Project Manager

CITY AND BOROUGH OF SITKA PARK BUILDING DRAWING PACKAGE

DRAWING LEGEND		
SHEET	DWG/SHT	DRAWING TITLE
1	1.1	ELEVATIONS & DESIGN CRITERIA
	2.1	FRONT ELEVATION
	3.1	BACK ELEVATION
	4.1	RIGHT SIDE ELEVATION
	4.1	LEFT SIDE ELEVATIONS THERMAL AND MOISTURE PROTECTION
2	1.2	FLOOR PLAN, GENERAL NOTES, & SCHEDULES
	2.2	FLOOR PLAN STEEL DOOR ELEVATIONS DOOR SCHEDULE ROOM FINISH SCHEDULE GENERAL NOTES RESTROOM INTERIOR FINISHES SERVING ROOM INTERIOR FINISHES CHASE/UTILITY INTERIOR FINISHES INTERIOR SPECIALTIES
3	1.3	WOOD WALL FRAMING DETAILS AND SECTIONS
	2.3	WOOD CORNER AND TEE DETAILS GENERAL NOTES WALLS ROOF
4	1.4	CONNECTION DETAILS & ROOF FRAMING PLAN
	2.4	ROOF FRAMING PLAN
	3.4	RIDGE DETAIL AT END WALL
	4.4	EAVE DETAIL CHASE WALL AND ROOF SECTION
5	1.5	FRAMING DETAILS
	2.5	EXTERIOR WALL SECTION
	3.5	WALL TO FLOOR DETAIL DOOR HEADER DETAIL
6	1.6	METAL ROOF DETAILS
	2.6	UPPER VENTED RIDGE ASSEMBLY
	3.6	EAVE FLASHING RAKE FLASHING APPLICABLE STANDARDS FOR ROOFING MATERIALS
7	1.7	SHELTER FRAMING SECTION DETAILS
		SHELTER SECTION
8	1.8	FLOOR FRAMING PLAN AND DETAILS
	2.8	FRAMING DETAILS
	3.8	FLOOR FRAMING PLAN FLOOR PAN DETAIL GENERAL FACTORY POURED FLOOR CONCRETE NOTES
9	1.9	FOUNDATION DETAILS & SECTIONS
	2.9	PLAN VIEW @ PIER
	3.9	SECTION DETAIL @ PIER
	4.9	FOUNDATION PLAN CONNECTION DETAIL @ PIER GENERAL CONCRETE NOTES FOR SITE POURED CONCRETE
10	1.10	ELECTRICAL PLAN AND SCHEDULES
		ELECTRICAL PLAN ELECTRICAL FIXTURE SCHEDULE LIGHTING CONTROL NOTE
11	1.11	ELECTRICAL PLAN AND PANEL "A"
	2.11	ELECTRICAL SECTION AT PANEL
	3.11	INTERIOR SECTION MENS INTERIOR SECTION WOMENS GENERAL ELECTRICAL NOTES CONDUIT & WIRING NOTES PANEL "A" NOTICE TO CONTRACTOR
12	1.12	PLUMBING PLAN AND SCHEDULE
		FIXTURE PLAN PLUMBING FIXTURE SCHEDULE FIXTURE TESTING PERFORMANCE CRITERIA
13	1.13	FIXTURE ELEVATIONS AND PLUMBING NOTES
	2.13	FLOOR DRAIN SECTION FIXTURE ELEVATIONS GENERAL PLUMBING NOTES -NOTICE-
14	1.14	DRAIN, WASTE & VENT
		DRAIN, WASTE, & VENT PLAN
15	1.15	HOT AND COLD WATER PLAN
	2.15	COLD WATER SUPPLY PLAN HOT WATER SUPPLY PLAN
16		FASTENING SCHEDULE BUILDING SETTING
		FASTENING SCHEDULE
		ANCHORING OF THE BUILDING
		UTILITY HOOKUPS BUILDING STARTUP STEPS

DESIGN CRITERIA	
CODE REFERENCE: INTERNATIONAL BUILDING CODE 2012 OR THE AMERICAN SOCIETY OF CIVIL ENGINEERS – MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES ASCE 7-10.	
2021 INTERNATIONAL BUILDING CODE, FIRE, AND MECHANICAL CODES	
2018 UNIFORM PLUMBING CODE	
2017 NATIONAL ELECTRIC CODE	
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), ASHRAE 62.2 2016, AND ALASKA SPECIFIC AMENDMENTS CLIMATE ZONE 6.	
2010 ADA STANDARDS FOR ASSESSABLE DESIGN	
CONSTRUCTION TYPE: V-B	SNOW LOAD: 50 P.S.F.
STORIES: 1	BASIC WIND LOAD: 150 M.P.H. V3
OCCUPANCY CLASSIFICATION: B	WIND EXPOSURE: D
BUILDING AREA: 598 SQ.FT	FLOOR LIVE LOAD: 50 P.S.F.
OCCUPANCY LOAD: 5	SITE CLASSIFICATION: D
RVALUE WALLS: R15	SEISMIC OCCUPANCY CATEGORY: II Ss=0.97
RVALUE ROOF/ CEILING: R19	SEISMIC DESIGN CATEGORY: D S1=0.5
RVALUE FLOORS: R10	
BUILDING IS CONDITIONED	
EXTERIOR WALL FIRE RATING: 0 Hr	SETBACK GREATER THAN 25 FEET FROM COMMON OR ASSUMED PROPERTY LINE.

UTILITY HOOKUPS

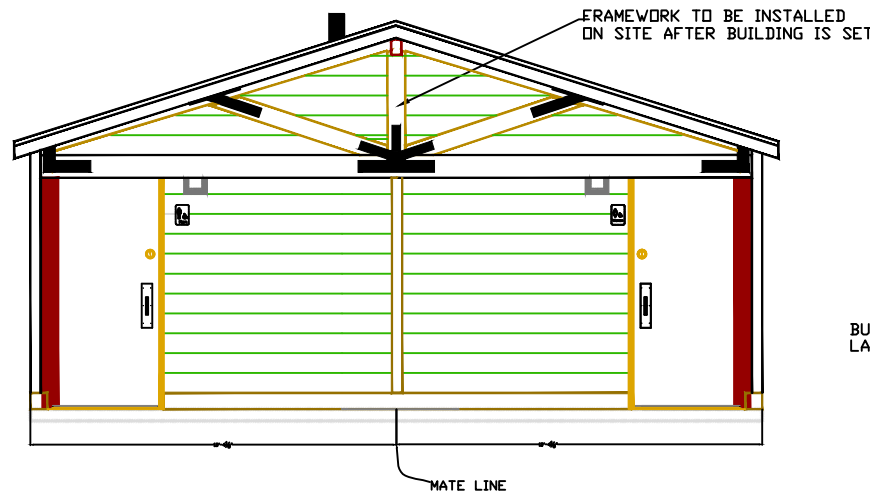
- A. The main electrical connection should be brought to the chase opening prior to setting of the building.
- B. The plumbing connections will be similar to the electrical. The main waste and water should be brought in prior to the set. The waste is 4" PVC or cast iron. The water will be determined by size of the building and will be outlined on the construction drawings.

ANCHORING OF THE BUILDING

Install weld plates in the piers and weld the entire building I-Beam to the weld plates as outlined on the construction drawings.

JOB SITE SCOPE

1. GRADE, FORM AND POUR FOUNDATIONS WITH SETTING PLATES DEAD LEVEL PER DRAWINGS
2. SET BUILDING ON PLATES AND WELD DOWN PERIMETER WELD PLATES PER DRAWINGS
3. INSTALL RIDGE, WALL AND FRAME BOLTS PER DRAWINGS.
4. INSTALL RIDGE CAP PER DRAWING.
5. RUN ALL UTILITIES TO FORM BOX OPEN AREA AND MAKE CONNECTIONS PER DRAWINGS.
6. INSTALL DRAINS, TRAPS AND GREASE TRAPS PER LOCAL AND STATE REQUIREMENTS.
7. FORM AND POUR SLAB AROUND ENTIRE BUILDING PER OWNER SPECIFIED WIDTH PER ADA.
8. FILL OPEN AREA WITH FILL AND POUR 4" CONCRETE SLAB OR OWNER SPECIFIED FILL.
9. TOUCH-UP ANY MARKS, PAINT OR BLEMISHES CAUSED BY DELIVERY AN/OR INSTALLATION.



1
A MAIN BUILDING CONSTRUCTED COMPONENTS
3/16"=1'

SITWORK LEGEND			
SHEET	DRAWINGS/NOTES	SUPPLIED BY MANUF.	DESCRIPTION OF WORK
1	1/1, 1/2	YES	UTILITY CHASE DOORS
9	PAGE 9	NO	SITE POURED SLABS, SITE POURED CONCRETE
4	1/4, 4/4	YES	INSTALL RIDGE BOLTS
9	3/9	NO	LOCATION OF SITE POURED PIERS
9	4/9	NO	WELD DETAIL
9	3/9	NO	PLAN VIEW OF PIER INSTALLATION
9	2/9	NO	SECTION DETAIL OF PIER INSTALLATION
9	NOTE PAGE 9	NO	FOOTINGS MUST REST ON BEARING SOIL
10, 11	1/10, GENERAL ELECTRICAL NOTES	NO	GROUNDING OF ELECTRICAL PANEL
11	1/11, NOTICE TO CONTRACTOR	NO	UTILITY CONNECTIONS ELECTRIC
12, 14, 15	1/12, 1/14, 1/15	NO	UTILITY CONNECTIONS PLUMBING
13	GENERAL PLUMBING NOTES	NO	UTILITY CONNECTIONS PLUMBING
16	UTILITY HOOKUPS	NO	UTILITY HOOKUPS
16	OFFLOADING UTILITY HOOK-UPS ANCHORING OF BUILDING BUILDING STARTUP	NO	NOTES
6	1/6	YES	INSTALL RIDGE CAP METAL

HUNTER-KNEPPSHIELD COMPANY
#10 HUNTER TRAIL
P.O. BOX 899
LAGRANGE, KY 40031
800-626-6530

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◇◇ SYMBOL SUPPLIED AND INSTALLED BY OTHERS.

SHEET TITLE COVER	
PROJECT NAME CITY AND BOROUGH OF SITKA RESTROOM	
PROJECT LOCATION SITKA, AK	

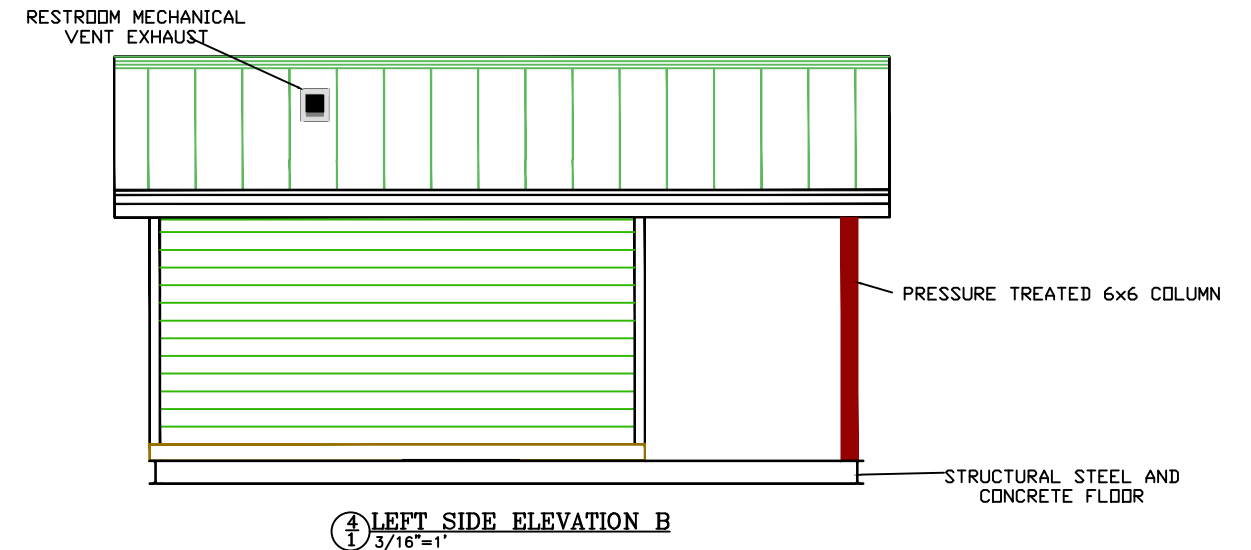
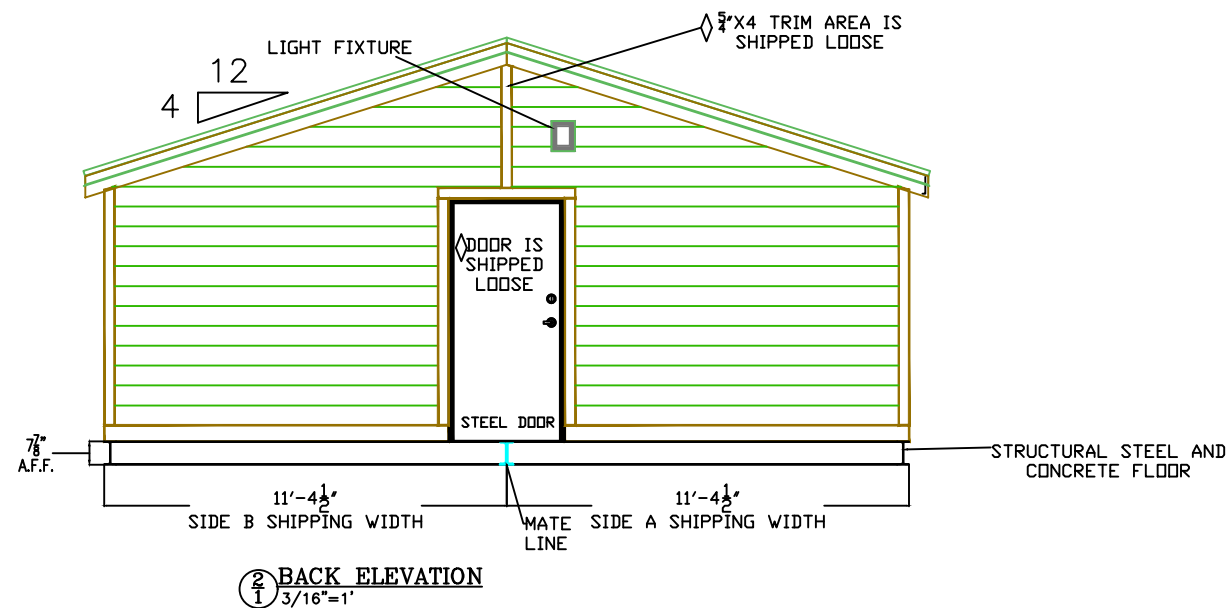
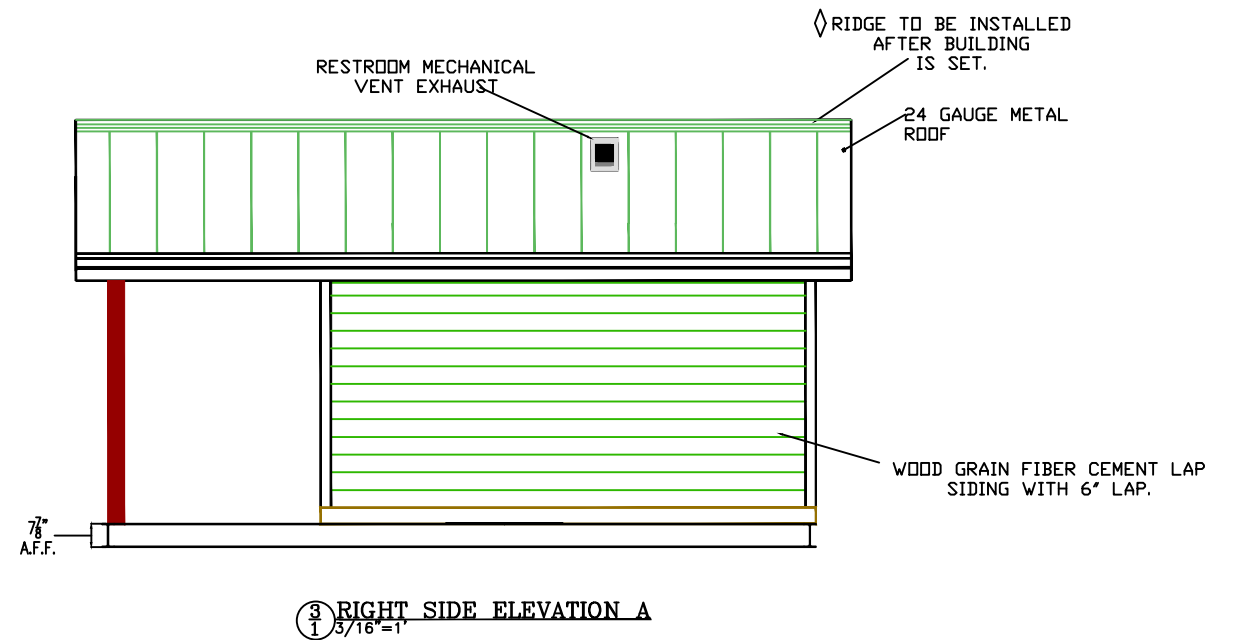
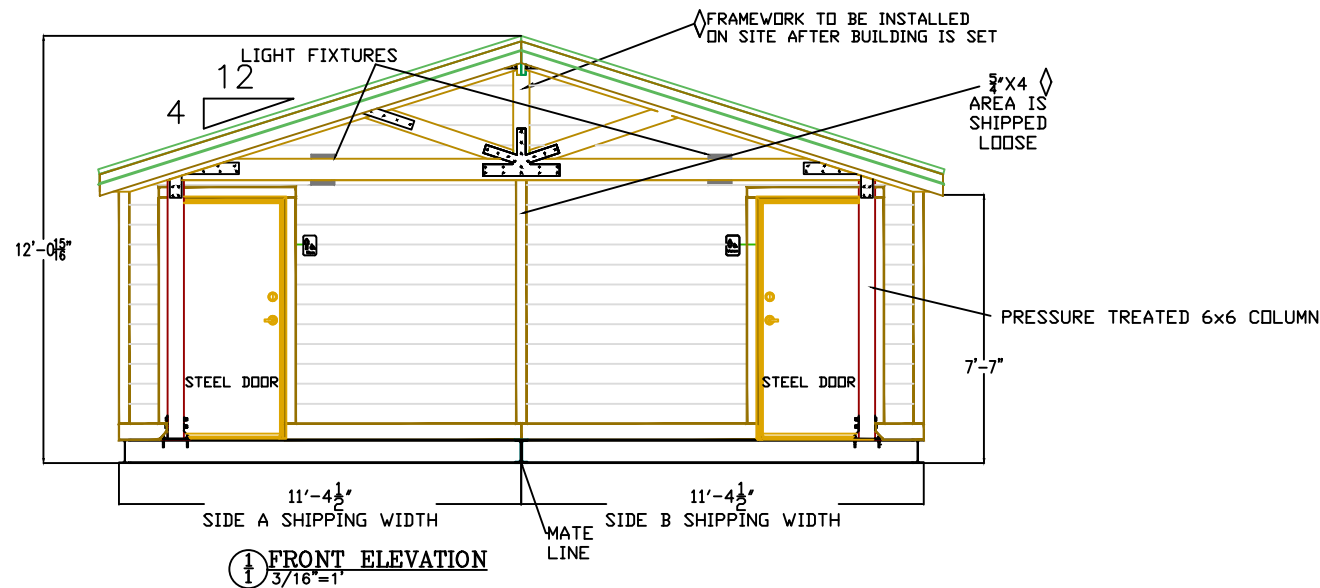
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IMPORTANT
Note: It is the responsibility of the owner to verify that these plans meet or exceed all governing codes. It is also the responsibility of the owner to obtain plan approvals and all work permits by all governing agencies.

DRAWN	CHECKED	APPROVED	DATE	SCALE
TMKII			8/04/2024	3/16"=1' "B" SIZE

REVISIONS		
MARK	DESCRIPTION	DATE

FILE NAME DW42-2224LA.DWG	PROJECT ENGINEER	SHEET A OF 1
MODEL # DW42-2224LA		
SERIAL # HK-194		



THERMAL AND MOISTURE PROTECTION

- A. ROOF: 24 GAUGE METAL SALES VERTICAL SEAM. (COLOR BY OWNER) INSTALLED OVER ONE LAYER OF 30 LB. FELT PAPER.
 - B. WALL INSULATION: SHALL HAVE R-15 INSULATION IN ALL EXTERIOR WALL FRAMING WITH ONE LAYER OF R1 CONTINUOUS INSULATION AND BUILDING WRAP OVER EXTERIOR PLYWOOD FOR VAPOR BARRIER.
 - C. ROOF R19 KRAFT FACED FIBERGLASS BATT INSULATION WITH ONE LAYER OF R1 CONTINUOUS INSULATION
 - D. FLOOR: R10 POLY INSULATION BOARD BETWEEN C-CHANNELS UNDER BUILDING AND AROUND OUTSIDE OF 8" I-BEAM FOR SLAB INSULATION.
 - E. ROOF FLASHING: 24 GAUGE METAL COLOR BY OWNER
 - F. VENTS: 26 GAUGE SOFFIT VENT EXPOSED WITH 1"x VERSATEX TRIM
 - G. STOREROOM FLOOR: CONCRETE FLOORS TO RECEIVE SHERWIN WILLIAMS ACRYLIC FINISH. COLOR TO BE GRAY.
 - H. RESTROOM FLOOR: RESTROOM FLOOR SHALL BE COATED WITH SHERWIN WILLIAMS ARMORSEAL WITH ARMORQUARTZ GRANULAR BROADCAST QUARTZ SYSTEM.
- CAULKING: 100% SILICONE SEALANT, COLOR TO CLEAR OR MATCH MATERIAL OR EQUAL.

NOTE:
LANDINGS, WALKWAYS AND RAMPS ARE TO BE SUPPLIED AND INSTALLED BY OTHERS AS REQUIRED TO MEET LOCAL HANDICAP ACCESSIBILITY REQUIREMENTS.



#10 HUNTER TRAIL
P.O. BOX 499
LAGRANGE, KY 40031
800-626-6530

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SHEET TITLE ELEVATIONS	
PROJECT NAME CITY AND BOROUGH OF SITKA RESTROOM	
PROJECT LOCATION SITKA, AK	

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DRAWN	CHECKED	APPROVED	DATE	SCALE
TMKII			8/04/2024	3/16"=1' @ "B" SIZE

REVISIONS		
MARK	DESCRIPTION	DATE

FILE NAME DW42-2224LA.DWG	PROJECT ENGINEER	SHEET 1 of 16
MODEL # DW42-2224LA		
SERIAL # HK-194		

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR			BASE			WALLS			GABLE		
		MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR
101	MEN	CONCRETE	EPOXY GRANITE	GRANITE	ALUMINUM	SATIN	NATURAL	FRP	PEBBLE GRAIN	WHITE	FRP	PEBBLE GRAIN	WHITE
102	WOMEN	"	"	"	"	"	"	"	"	"	"	"	"
104	CHASE/UTILITY	CONCRETE	EPOXY	Grey	NONE	NONE	NONE	OPEN STUD	NONE	NONE	1/2" CDX	NONE	NONE

DOOR SCHEDULE

NUMBER	TYPE	SIZE			FRAME			HARDWARE			MISCELLANEOUS
		WIDTH	HEIGHT	THICK	MATERIAL	TYPE	FINISH	LOCK	HINGE	CLOSER	
①	3070 18 GAUGE	3'0"	6'8"	1 3/4"	16 GAUGE	FLUSH FRAME	PRIMED GREY	HAGER 3118 D.BOLT CLASSROOM HAGER 2500 HANDLE	ECCO ECBB1101	HAGER 5303	HAGER PULLPLT 30-H39E-35X15 HAGER THRESHOLD 412Ax36" HAGER SWEEP 770SVx36"
②	3070 18 GAUGE	3'0"	6'8"	1 3/4"	16 GAUGE	FLUSH FRAME	PRIMED GREY	HAGER 3118 D.BOLT CLASSROOM HAGER 2500 HANDLE	ECCO ECBB1101	HAGER 5303	
③	3070 18 GAUGE	3'0"	6'8"	1 3/4"	16 GAUGE	FLUSH FRAME	PRIMED GREY	HAGER 3100 D.BOLT HAGER 2500 HANDLE	ECCO ECBB1101	NONE	HAGER PULLPLT 30-H39E-35X15 IVES #115 CRASH STOP HAGER THRESHOLD 412Ax36" HAGER SWEEP 770SVx36"

NOTE:
A MINIMUM 24" WIDE X 84" HIGH CLEAR AND UNOBSTRUCTED PASSAGEWAY IS REQUIRED IN THE UTILITY ROOM FROM THE DOOR TO THE PIPES AND TOILET SUPPORTS CANNOT ENCRDACH INTO THIS PASSAGEWAY

GENERAL NOTES:

RESTROOM INTERIOR FINISHES

- A. WALL FINISH: 3/32" THICK, WHITE, PEBBLE GRAIN FINISH, CONTINUOUS (CORNER TO CORNER, FLOOR TO +7'-6" A.F.F.) CLASS 'C' FIBERGLASS REINFORCED PLASTIC (FRP)** OVER 1/2" THICK "BCX" GRADE PLYWOOD BACKER BOARD, GLUED AND NAILED TO WALL FRAMING WITH COATED GALVANIZED NAILS.
- B. GABLE FINISH: SAME AS WALL FINISH.
- C. WALL CORNER TRIM: 1 1/2"x1 1/2"x3/16" ALUMINUM ANGLE FASTENED TO WALL FRAMING WITH STAINLESS STEEL SCREWS.
- D. BASE BOARD: 4" HIGH, ALUMINUM BASE BOARD FASTENED TO WALL WITH STAINLESS STEEL SCREWS.
- E. WOOD TRIM WORK: UNTREATED, KILN DRIED, NOMINAL 1x SOUTHERN YELLOW PINE.
- F. CEILING: 1' x 6' PATTERN #2 PATTERN 116 TONGUE & GROOVE SYP DECKING.

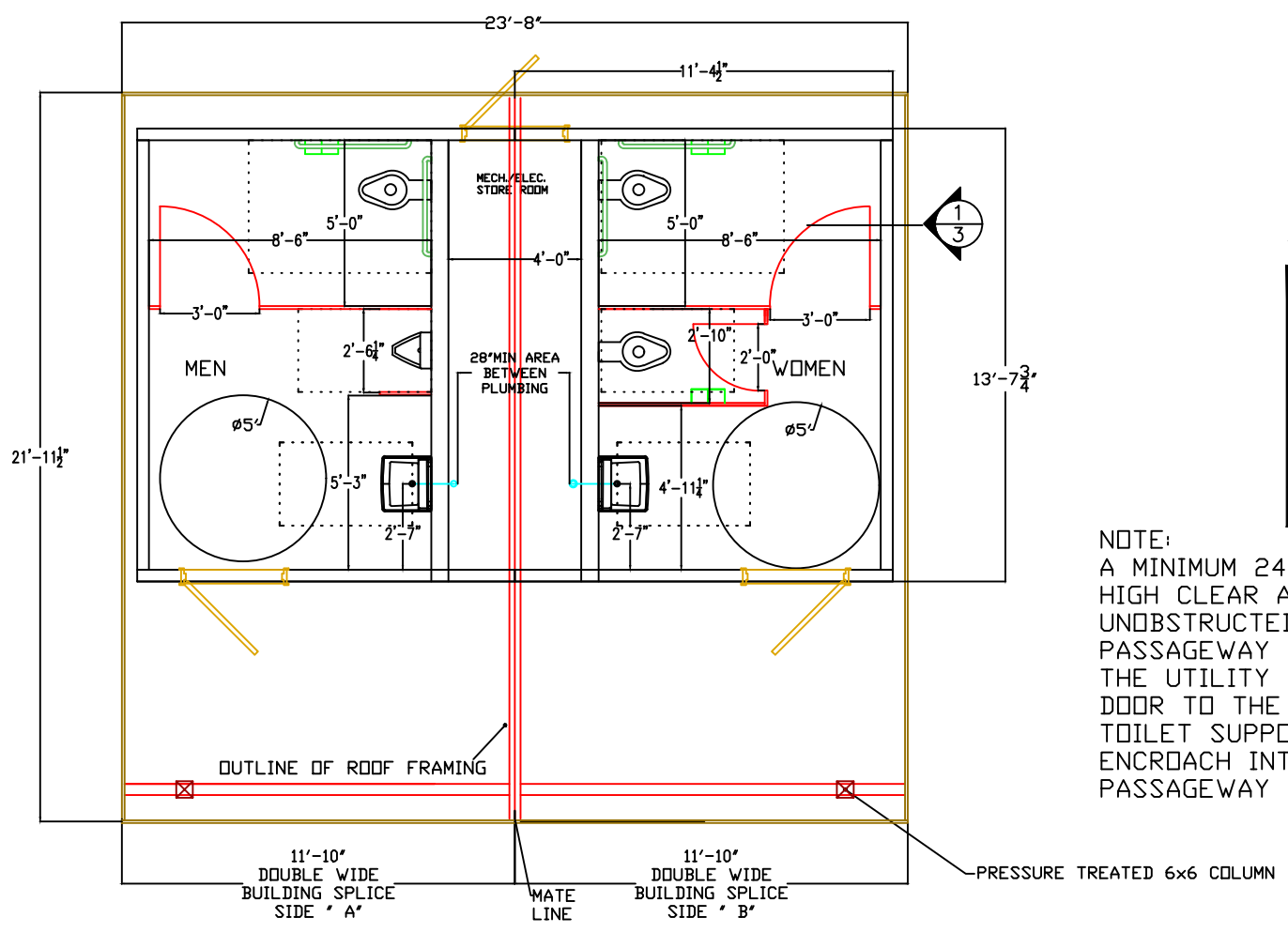
CHASE/UTILITY INTERIOR FINISHES

- A. WALL FINISH: EXPOSED STUD FRAMING ON CHASE PARTITION WALLS AND 1/2" THICK "BCX" GRADE PLYWOOD (GOOD SIDE OUT) ON FRONT AND REAR WALLS.
- B. GABLE FINISH: EXPOSED STUD FRAMING.
- C. CEILING: EXPOSED OPEN FRAMING.

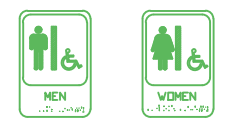
INTERIOR SPECIALTIES

- S1. 36" GRAB BAR: 1 1/2" DIAMETER STAINLESS STEEL WITH CONCEALED FASTENERS. BOBRICK #6806 x 36 (OR APPROVED EQUAL)
- S2. 42" GRAB BAR: 1 1/2" DIAMETER STAINLESS STEEL WITH CONCEALED FASTENERS. BOBRICK #6806 x 42 (OR APPROVED EQUAL)
- S3. TOILET PAPER HOLDERS: 1/8" THICK ALUMINUM BODY WITH VANDAL RESISTANT LOCKING DESIGN AND FASTENED TO WALL WITH STAINLESS STEEL VANDAL RESISTANT SCREWS. ONE (1) DOUBLE ROLL HOLDER PER STALL. BOBRICK #B-27460 (OR APPROVED EQUAL)
- S4. TOILET PARTITIONS AND DOORS: 1" THICK, WHITE, HIGH DENSITY POLYETHYLENE MOUNTED ON CONT. ALUMINUM BRACKETS AT WALLS AND PILASTERS. SYSTEM IS FLOOR MOUNTED. DOOR HINGES, SLIDE BOLTS, AND HARDWARE TO BE CHROME PLATED ZAMAC AND/OR STAINLESS STEEL.
- S5. 14"x42" URINAL SCREEN: SEE SPEC. FOR S4.
- S6. MIRRORS: ONE PIECE CHANNEL FRAME MIRROR 24"x36" W/ ELECTROLYTICALLY COPPER-PLATED GLASS. BOBRICK #B-165-2436
- S7. ELECTRIC HAND DRYER: EXCEL THIN-AIR WITH BAKED WHITE COVER. TO BE HANDICAP HEIGHT MOUNTED.
- S8. SOAP DISPENSER: BOBRICK MODEL B-2112 STAINLESS STEEL LIQUID SOAP DISPENSER.

SHELF WITH 1-1/2" LIP ON 4 SIDES (OR APPROVED EQUAL).

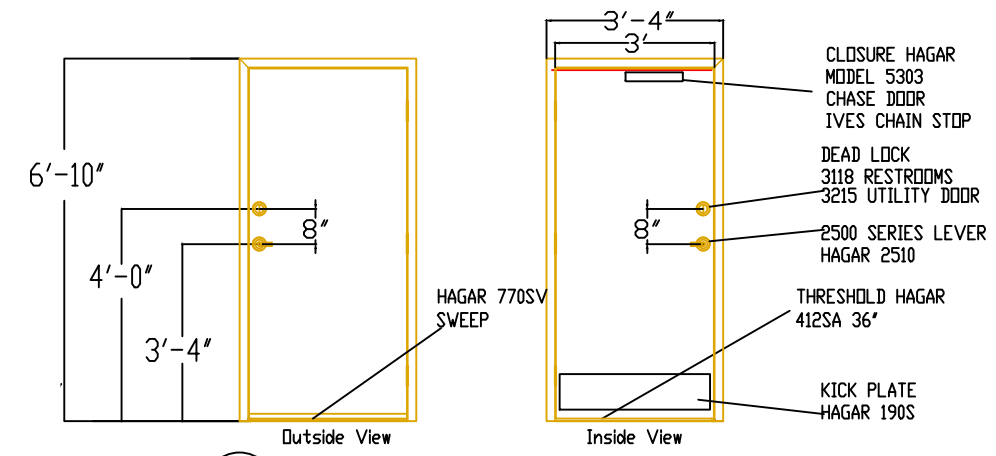


①/② FLOOR PLAN
3/16"=1'



ADA H.C. SIGNS APPEARANCE

NOTE:
SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING HEIGHT SHALL BE AT 60" A.F.F. TO THE CENTERLINE OF THE SIGN. (DESIGN MAY VARY FROM THAT SHOWN ABOVE)



②/② STEEL DOOR ELEVATIONS
SCALE: 1/4"=1'



◇ SYMBOL SUPPLIED BY MANUFACTURER AND INSTALLED BY OTHERS.
◇◇ SYMBOL SUPPLIED AND INSTALLED BY OTHERS.

SHEET TITLE FLOOR PLAN, GENERAL NOTES, & SCHEDULES	
PROJECT NAME CITY AND BOROUGH OF SITKA RESTROOM	
PROJECT LOCATION SITKA, AK	

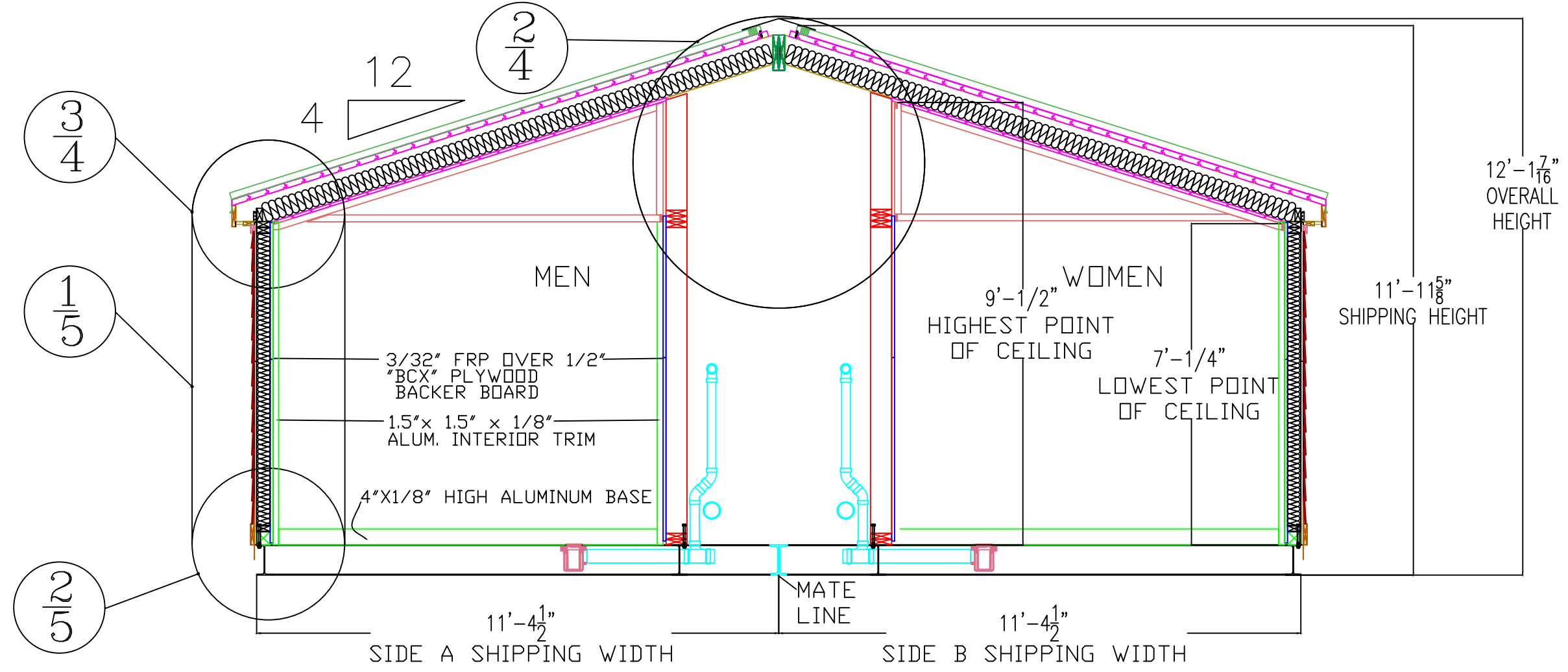
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IMPORTANT
Note: It is the responsibility of the owner to verify that these plans meet or exceed all governing codes. It is also the responsibility of the owner to obtain plan approvals and all work permits by all governing agencies.

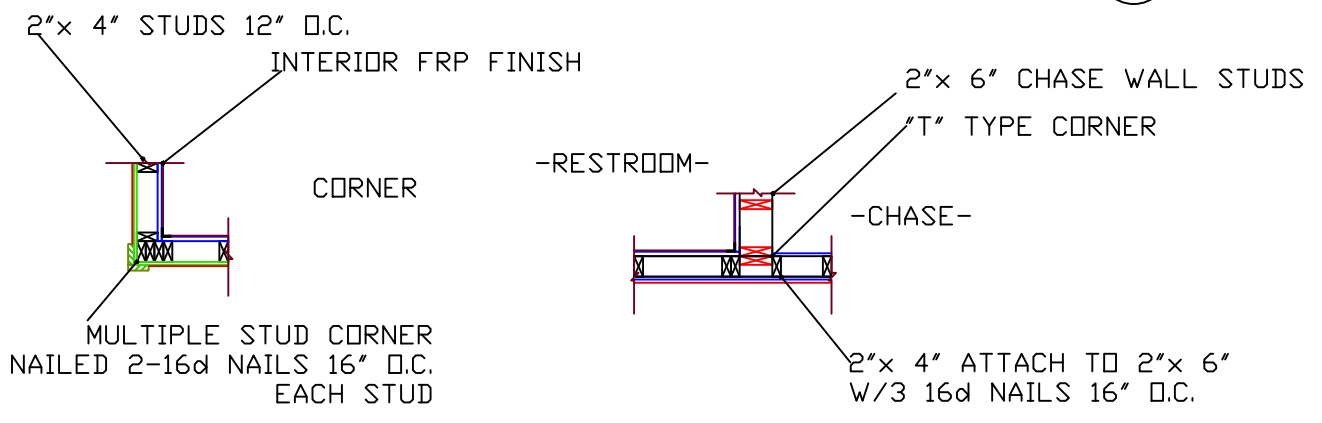
DRAWN	CHECKED	APPROVED	DATE	SCALE
TMKII			8/04/2024	3/16"=1' "B" SIZE

REVISIONS		
MARK	DESCRIPTION	DATE

FILE NAME DW42-2224LA.DWG	PROJECT ENGINEER	SHEET 2 of 16
MODEL # DW42-2224LA		
SERIAL # HK-194		



1/3 BUILDING SECTION
SCALE: 3/8"=1'



2/3 WOOD CORNER AND TEE DETAILS

- WALLS-
- 2x4 & 2x6 WALL FRAMING TO BE PRESSURE TREATED, #2 (MIN.) SOUTHERN YELLOW PINE WITH 2X4 STUDS @ 16" O.C., 2X6 @ 24" O.C.
- 1/2" CDX PLYWOOD EXTERIOR SHEATHING, A.P.A. EXPOSURE 1, 15/32" (MIN), SPAN RATING 32/16.
- 1/2" CDX PLYWOOD INTERIOR SHEATHING, A.P.A. EXPOSURE 1, 15/32" (MIN), SPAN RATING 32/16.
- *- SERVING AREA FRP FINISH .090 CLASS A/I PER UBC/SBCC/BOCA, FLAME SPREAD <=25, SMOKE DEVELOPED <=450 PER ASTM E-84/UL-723. MEETS USDA/FSIS REQUIREMENTS. FRP DOES NOT SUPPORT MOLD OR MILDEW PER ASTM D3273 AND ASTM D3274.
- ** - ASTM E-84 FLAME SPREAD RATING, AND ASTM D-2843 SMOKE RATING. UL CLASSIFIED. FLAME SPREAD 20 (CLASS I), SMOKE DEVELOPED 200 (PER ASTM E-84). MEETS FEDERAL SPECIFICATION TT-S-1543A & TT-S-230C, CLASS C
- ROOF-
- 2x8 NOM., #2 PRESSURE TREATED SOUTHERN YELLOW PINE (MIN.) RAFTERS @ 16" ON CENTER
- 5/8" CDX PLYWOOD EXTERIOR ROOF SHEATHING, A.P.A. EXPOSURE 1, 19/32" (MIN), SPAN RATING 40/20.



#10 HUNTER TRAIL
P.O. BOX 499
LAGRANGE, KY 40031
800-626-6530

SHEET TITLE WOOD WALL FRAMING DETAILS AND SECTIONS	
PROJECT NAME CITY AND BOROUGH OF SITKA RESTROOM	
PROJECT LOCATION SITKA, AK	

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IMPORTANT
Note: It is the responsibility of the owner to verify that these plans meet or exceed all governing codes. It is also the responsibility of the owner to obtain plan approvals and all work permits by all governing agencies.

DRAWN	CHECKED	APPROVED	DATE	SCALE
TMKII			8/04/2024	3/16"=1' @ "B" SIZE

REVISIONS		
MARK	DESCRIPTION	DATE

FILE NAME DW42-2224LA.DWG	PROJECT ENGINEER	SHEET 3 of 16
MODEL # DW42-2224LA		
SERIAL # HK-194		

Sitka Cruise Terminal Restroom Photos



Sitka Cruise Terminal Restroom Photos



Sitka Cruise Terminal Restroom Photos



Prefabricated Restroom with similar truss style to what is specified:



Letter of Support for Sitka Trail Works' Mosquito Cove Trail Renovation Project

Alaska Division of Parks and Outdoor Recreation

550 W 7th Ave, Suite 1380

Anchorage AK 99501-3561

Fax: (907) 269-8907

E-mail: parks.RTPgrantapp@alaska.gov

October 8th, 2024

Dear ORTAB board,

We are writing to express our strong support for Sitka Trail Works' application to the Recreational Trails Program for funding to renovate the Mosquito Cove Trail.

The Mosquito Cove Trail is one of Sitka's most popular hiking destinations, particularly for families and residents seeking a scenic and accessible loop. However, recent storms and years of deferred maintenance have significantly impacted the trail, with blowdowns, erosion, and failing drainage structures hindering safe and enjoyable use.

Sitka Trail Works is a respected non-profit organization with a proven track record of success in maintaining and improving Sitka's trail network. They consistently demonstrate a collaborative approach, working closely with the city and local stakeholders.

The proposed project will address the recent storm damage, tackle other deferred maintenance needs, and improve the overall accessibility of the Mosquito Cove Trail. These essential improvements will ensure the continued enjoyment and safety of the many residents and visitors who enjoy the Mosquito Cove Trail.

We strongly urge the Recreational Trails Program to grant Sitka Trail Works' application. This project will not only restore a vital community asset but also contribute to Sitka's reputation as a premier destination for outdoor recreation.

Thank you for your consideration,

James Poulson, Chair and
City and Borough of Sitka Parks & Recreation Committee Members